

Item No 03:-

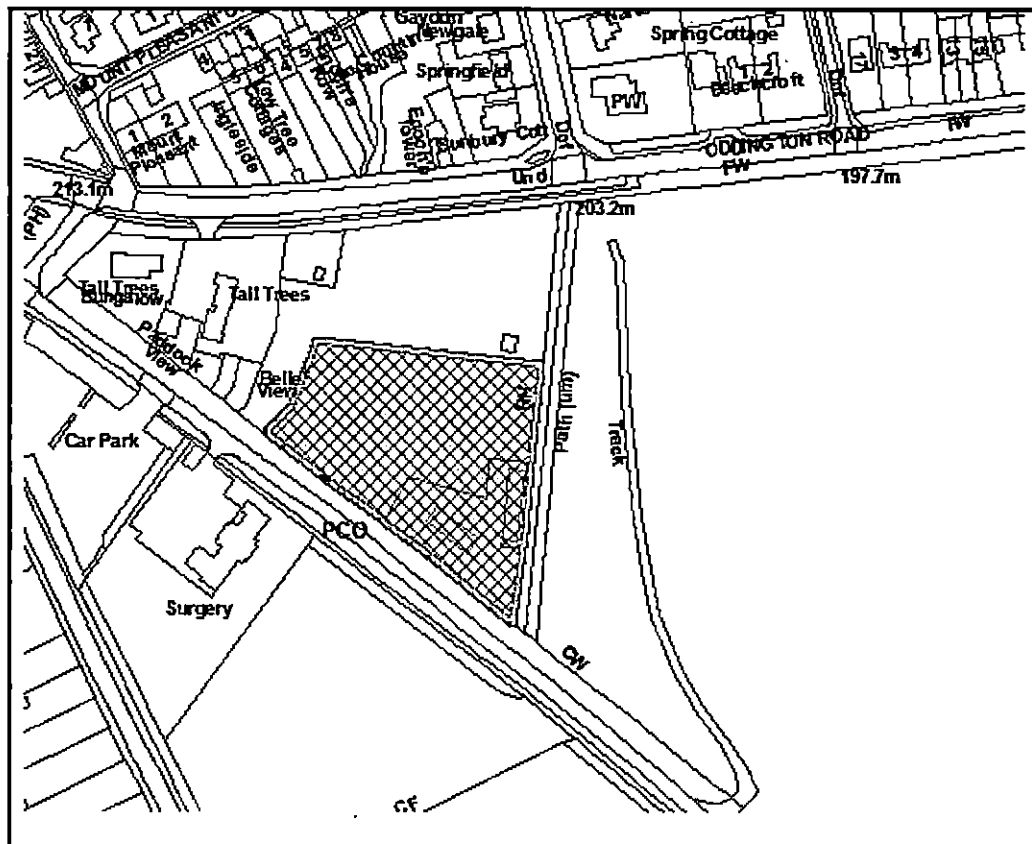
16/01254/REM (CD.0780/G)

**Tall Trees
Oddington Road
Stow-On-The-Wold
Cheltenham
Gloucestershire
GL54 1HR**

**Erection of a Doctor's Surgery with associated parking (Reserved Matters details relating to the appearance of the building pursuant to outline planning permission reference 15/01718/OUT) at
Tall Trees
Oddington Road Stow-On-The-Wold**

Approval of Reserved Matters 16/01254/REM (CD.0780/G)	
Applicant:	Mrs Jenny Scarsbrook
Agent:	Eastabrook Architects
Case Officer:	Deborah Smith
Ward Member(s):	Councillor Barry Dare
Committee Date:	8th June 2016

Site Plan



© Crown copyright and database rights 2011 Ordnance Survey, SLA No. 0100018800

RECOMMENDATION: PERMIT

Main Issues:

- (a) Impact on the Setting of the Conservation Area, the Setting of Listed Buildings and the Character and Appearance of the AONB
- (b) Other Matters

Reasons for Referral:

This Reserved Matters application is being reported to the Planning and Licensing Committee for determination following a request by the Committee at its meeting on 8th July 2015 when it resolved to grant outline planning permission for the doctor's surgery.

1. Site Description:

The application site is located on the south-eastern edge of the town and beyond the built form of the settlement. It is on the southern side of the Oddington Road (A436) and lies adjacent to the Mangersbury Road. The site area extends to approximately 0.5ha and comprises part previously used land (commonly known as 'brownfield' land) and part greenfield land. There are two buildings and skips located on the previously used part of the site (within the southern corner). These buildings pre-date the Planning Act and are thought to be ex-army huts; it is not clear what the buildings are currently used for. The remaining land within the application site comprises part of an open paddock used for the grazing of horses.

A public footpath bounds the eastern boundary and effectively provides pedestrian access from Oddington Road onto Mangersbury Road. The length of the eastern boundary comprises a mixture of mature trees which fall outside of the application site and one of them, an ash tree (T3), is subject to a Tree Preservation Order (TPO). The Oddington Road roadside boundary is planted with leylandii trees, whilst the southern boundary of the site, bordering the Mangersbury Road, has a raised highway verge with trees and a low Cotswold drystone wall. The western and northern boundaries to the application site open on to the paddock.

The site lies within the Cotswolds Area of Outstanding Natural Beauty (AONB) and is bounded by the Stow Conservation Area which wraps around the western and southern boundaries of the application site.

2. Relevant Planning History:

14/04138/OUT: Erection of a Doctor's Surgery and associated car parking (outline application with all matters reserved for future consideration). Refused 11th February 2015.

15/01718/OUT: Erection of a Doctor's Surgery with associated parking. Permitted 13th July 2015.

3. Planning Policies:

NPPF National Planning Policy Framework
 LPR15 Conservation Areas
 LPR19 Development outside Development Boundaries
 LPR32 Community Facilities
 LPR42 Cotswold Design Code

4. Observations of Consultees:

Conservation Officer: views incorporated within the Officer's report

5. View of Town/Parish Council:

Stow Town Council: supports the development on this site but has concerns about the detail of the design; the solar panel could reflect the light and be dangerous to drivers; the buttresses are not in keeping; the wooden panelling on the front of the building should be replaced with stone;

the wooden fencing should be replaced with a stone wall which would accord with the emerging Neighbourhood Plan; and would request that the footpath along the eastern boundary is made good and safe for pedestrians.

Maugersbury Parish Council: objects to the application: support the principle of a new doctors surgery but have concerns regarding a number of aspects of the detailed design of the building; the design isn't in keeping with buildings in the area, in particular with the vets on the opposite side of the road; the site is within a conservation area and the AONB and a higher standard of detailing is expected; the solar panel array on the southern elevation is particularly incongruous; materials should be re-considered; and oppose the re-introduction of the 'associated car parking'.

6. Other Representations:

Friends of Stow Surgery: we support the proposals and hope that the application will be approved in the near future so that construction can commence on this much-needed new surgery facility.

11 third party letters of support making the following comments:

- i) The town has long been awaiting this desperately needed surgery and has full support from the doctors;
- ii) Arguments about access are irrelevant because the access has already been approved by GCC Highways and it can cope with the additional traffic movements;
- iii) Access off the Maugersbury Road is safer than off the Oddington Road;
- iv) Developing on this site will preserve the integrity of the entrance to the town and the development will be shielded by existing trees;
- v) The building has been sited on the lowest part of the site in order to ensure that it is as unobtrusive as possible in the AONB;
- vi) The surgery has been designed and has sufficient space to accommodate new growth for up to 20 years;
- vii) The NHS Gloucestershire Clinical Commissioning Group has given its full approval for the application;
- viii) A good level of parking is provided;
- ix) It is a well-designed building; and
- x) The existing footpath to the east of the application site is unsuitable and a new pedestrian access to the Oddington Road should be created on Tall Trees land instead;

13 third party letters of objection raising the following concerns:

- i) The applicant has stated that the car parking fronting Maugersbury Road will be let separately from the doctors surgery and this commercial element should not be allowed as it would result in light and noise pollution to the adjacent dwelling;
- ii) The amount of car parking sought is excessive and visually intrusive and insufficiently softened by tree planting to reduce its impact;
- iii) The amount of hard surfacing will exacerbate issues of ground water drainage;
- iv) Sitting opposite the existing car park, development here will create a major barrier between the town and the AONB;
- v) The design of the building is very poor and the materials proposed for the building are more akin with a South African township;
- vi) The design should be in keeping with the emerging neighbourhood plan;
- vii) The internal layout has been revised in consultation with the doctors which has resulted in the external appearance of the building being compromised;
- viii) The crossing at the entrance may compromise pedestrian safety;
- ix) The waste bins are stored in the wrong location;
- x) The building appears to be inadequate for future expansion;
- xi) The huge solar panels on the end elevation of the building are completely out of keeping with the character of the area and could also be potentially hazardous for drivers when sunlight is reflected off it;
- xii) The entrance is woefully inadequate to deal with the extra traffic;

- xiii) Unsure as to how ambulances will reach the site; and
- xiv) Access off the Maugersbury Road is completely unsustainable as it is a narrow lane and cannot cope with the additional traffic generated.

7. Applicant's Supporting Information:

Floor plans
Elevations
Contextual elevations

8. Officer's Assessment:

Background

Members will recall that Outline planning permission was granted for a doctor's surgery on this site in July last year, therefore the principle of the development has been established. At that time, access to the site, layout, scale and landscaping were all considered and approved by the Planning Committee. The only outstanding reserved matter, and that which is under consideration now is that of the appearance of the building.

Proposals

The doctor's surgery building is to be located within the south-eastern corner of the application site, with the majority of the car parking within the north-eastern area of the site. A strip of 10 car parking spaces are shown (as approved) fronting on to Maugersbury Road. The red line denoting the application site encompasses an area of paddock land within the north-western corner which is to remain as grassland. Vehicular and pedestrian access would be gained from the Maugersbury Road predominantly, but an internal footway would link the application site to the public footpath running along the eastern boundary (the internal footway would join the public footpath approximately halfway along its route) to enable more convenient access from the Oddington Road.

The building would take the form of a 'T' shape and appear as a complex of traditional vernacular Cotswold agricultural buildings reflecting the details and materials of a stone built threshing barn. The building as proposed would comprise a part two-storey and part single-storey structure. The two-storey range would run in a north-south direction and measure approximately 34.9m in length with a depth of approximately 9m. At its maximum height, that part of the building would measure approximately 10.7m. The single-storey range would run in an east-west direction and would measure approximately 28.3m in length, have a depth of approximately 8.9m and a maximum height of approximately 6.2m. The building would provide approximately 725sq.m. of floor space for the doctor's surgery. It is proposed that the building would be constructed predominantly in natural Cotswold stone with some timber boarding on the single-storey range and with artificial Cotswold stone slates for the roof.

The doctor's surgery building is to be sited within approximately 37m of the vets practice and within 65m of the nearest dwelling (Belle View). The eastern boundary to the site which borders the open countryside beyond the town edge is defined by a line of mature trees lining the public footpath which provide a visual screen to the site when viewed from the wider AONB.

(a) Impact on the Setting of the Conservation Area, the Setting of Listed Buildings and the Character and Appearance of the AONB

The site is partly bounded to the South by the Stow Conservation Area. The conservation area also wraps around to the west and northern boundaries of the adjacent paddock. There are three Grade II Listed buildings (two of which are within the conservation area) to the north of the site along Oddington Road. These include Enoch's Tower directly to the north with The Counting House beyond and The Old School Meeting House to the north east. Enoch's Tower is very prominent within the context of the site.

In regard to the above designations the Local Planning Authority is statutorily required to pay special attention to the desirability of preserving or enhancing the character or appearance of the locality and have special regard to the desirability of preserving the setting of the listed buildings in compliance with Section 66(1) & 72(1) of the Planning (Listed Buildings and Conservation Areas) Act 1990, and Section 12 of NPPF. The proposed development must also be assessed against Local Plan Policy 42: Cotswold District Design Code.

The site also lies within the Cotswolds AONB, wherein, the LPA has a statutory duty to have regard to the purpose of conserving and enhancing the natural beauty of the landscape in accordance with Section 85 of the Countryside and Rights of Way Act 2000. Paragraph 17 of the NPPF states that planning should recognise the 'intrinsic character and beauty of the countryside and support thriving rural communities within it.' It also states that planning should 'conserve heritage assets in a manner appropriate to their significance, so that they can be enjoyed for their contribution to the quality of life of this and future generations.' Paragraph 109 of the NPPF states that the planning system should contribute to and enhance the natural and local environment by 'protecting and enhancing valued landscapes'. Paragraph 115 states that 'great weight should be given to conserving landscape and scenic beauty in ... Areas of Outstanding Natural Beauty'.

The building would appear as a complex of traditional vernacular Cotswold agricultural buildings reflecting the details and materials of a stone built threshing barn. The building is to be tucked in to the landscape to a degree and as a result, will appear less prominent in short and medium distance views. The scale of the building is dictated by its use as a doctor's surgery and could appear dominant in this location. However, by taking the form of a historic agricultural complex, it is considered that the proposed design and configuration is sympathetic to the character of the area.

The main detail that would reveal the non-agricultural use of the building is the extent and configuration of fenestration. It is considered that the proliferation of fenestration has a negative visual impact upon the agricultural style of the building, however this level of fenestration is necessary for the purpose and function of the building and in this case the negative impact would be considered moderate to low and outweighed by the public benefit generated by the proposal. Solar panels were originally shown on the southern gable end of the building but following discussions with the applicant's agent, these have now been removed.

It is therefore considered, on balance, that the design and appearance of the building respects the character, appearance and local distinctiveness of the area and would not harm the setting of the conservation area or the adjacent listed building (Enoch's Tower) and would conserve the natural beauty of the AONB. The proposed development thereby accords with advice set out within the NPPF and Cotswold District Local Plan Policies 15 and 42.

(b) Other Matters

It is noteworthy that Stow Doctor's surgery has advised that it has been working closely with the applicants and their agents in detailing the internal layout of the building to ensure that it meets NHS requirements and meets the working practices of the clinicians working at the surgery. The surgery has confirmed that it supports the application and a copy of its letter is attached to this report for information.

In addition, the NHS Gloucestershire Clinical Commissioning Group has also confirmed its support for the scheme and that the finances have been secured to meet the annual rental value of the site. A copy of this response is attached to the report for information.

The Friends of Stow Surgery also support the proposals.

9. Conclusion:

Following some minor revisions to the design of the building, i.e. the removal of the solar panels and the re-designing of the buttresses, Officers are satisfied that the appearance of the building would accord with the design principles of the Cotswold vernacular and would appropriately reflect the context of the site. Consequently, it is considered that the development as proposed accords with advice set out within the NPPF and Cotswold District Local Plan Policies 15 and 42.

10. Proposed conditions:

The development hereby approved shall be implemented in accordance with the following drawing numbers: 1164/L10, 1164/P20/A, 1164/P21/A, 1164/P22/A and 1164/P23/A.

Reason: For purposes of clarity and for the avoidance of doubt, in accordance with paragraphs 203 and 206 of the National Planning Policy Framework.

The external walls of the development hereby permitted shall be built of natural Cotswold stone (with the exception of the timber boarding panels shown on the north elevation of the building on drawing no. 1164/P22/A).

Reason: To ensure that in accordance with Cotswold District Local Plan Policies 15 and 42 and the NPPF, the development will be constructed of materials that are appropriate to the site and its surroundings. It is important to protect and maintain the character and appearance of the area in which this development is located.

The roofslopes of the development hereby permitted shall be covered with artificial Cotswold stone tiles and natural blue slates.

Reason: To ensure that, in accordance with Cotswold District Local Plan Policies 15 and 42 and the NPPF, the development will be constructed of materials that are appropriate to the site and its surroundings. It is important to protect and maintain the character and appearance of the area in which this development is located.

Prior to the construction of any external wall of the development hereby approved, samples of the proposed walling and roofing materials and all other artificial or natural stone elements, including window heads, cills, tabling and quoins, shall be approved in writing by the Local Planning Authority and only the approved materials shall be used.

Reason: To ensure that, in accordance with Cotswold District Local Plan Policies 15 and 42 and the NPPF, the development will be constructed of materials of a type, colour, texture and quality that will be appropriate to the site and its surroundings.

Prior to the construction of any external wall of the development hereby approved, a sample panel of walling of at least one metre square in size showing the proposed stone colour, coursing, bonding, treatment of corners, method of pointing and mix and colour of mortar shall be erected on the site and subsequently approved in writing by the Local Planning Authority and the walls shall be constructed only in the same way as the approved panel. The panel shall be retained on site until the completion of the development.

Reason: To ensure that in accordance with Cotswold District Local Plan Policies 15 and 42 and the NPPF, the development will be constructed of materials of a type, colour, texture and quality and in a manner appropriate to the site and its surroundings. Retention of the sample panel on site during the work will help to ensure consistency.

All door and window frames and inserted glazing shall be recessed a minimum of 75mm into the external walls of the building.

Reason: To ensure the development is completed in a manner sympathetic to the site and its surroundings in accordance with Cotswold District Local Plan Policies 15 and 42 and the NPPF.

The oak shall not be treated in any way and shall be left to weather and silver naturally.

Reason: To ensure the development is completed in a manner sympathetic to the site and its surroundings in accordance with Cotswold District Local Plan Policies 15 and 42 and the NPPF.

No bargeboards or eaves fascias shall be used in the proposed development.

Reason: To ensure the development is completed in a manner sympathetic to the site and its surroundings in accordance with Cotswold District Local Plan Policies 15 and 42 and the NPPF.

New rainwater goods shall be of cast iron construction or a substitute which has been approved in writing by the Local Planning Authority.

Reason: To ensure the development is completed in a manner sympathetic to the site and its surroundings in accordance with Cotswold District Local Plan Policies 15 and 42 and the NPPF.

No windows, doors, rooflights, horizontal timber boarding, vertical close boarding, posts and staddles shall be installed/inserted/constructed in the development hereby approved, until their design and details have been submitted to and approved in writing by the Local Planning Authority.

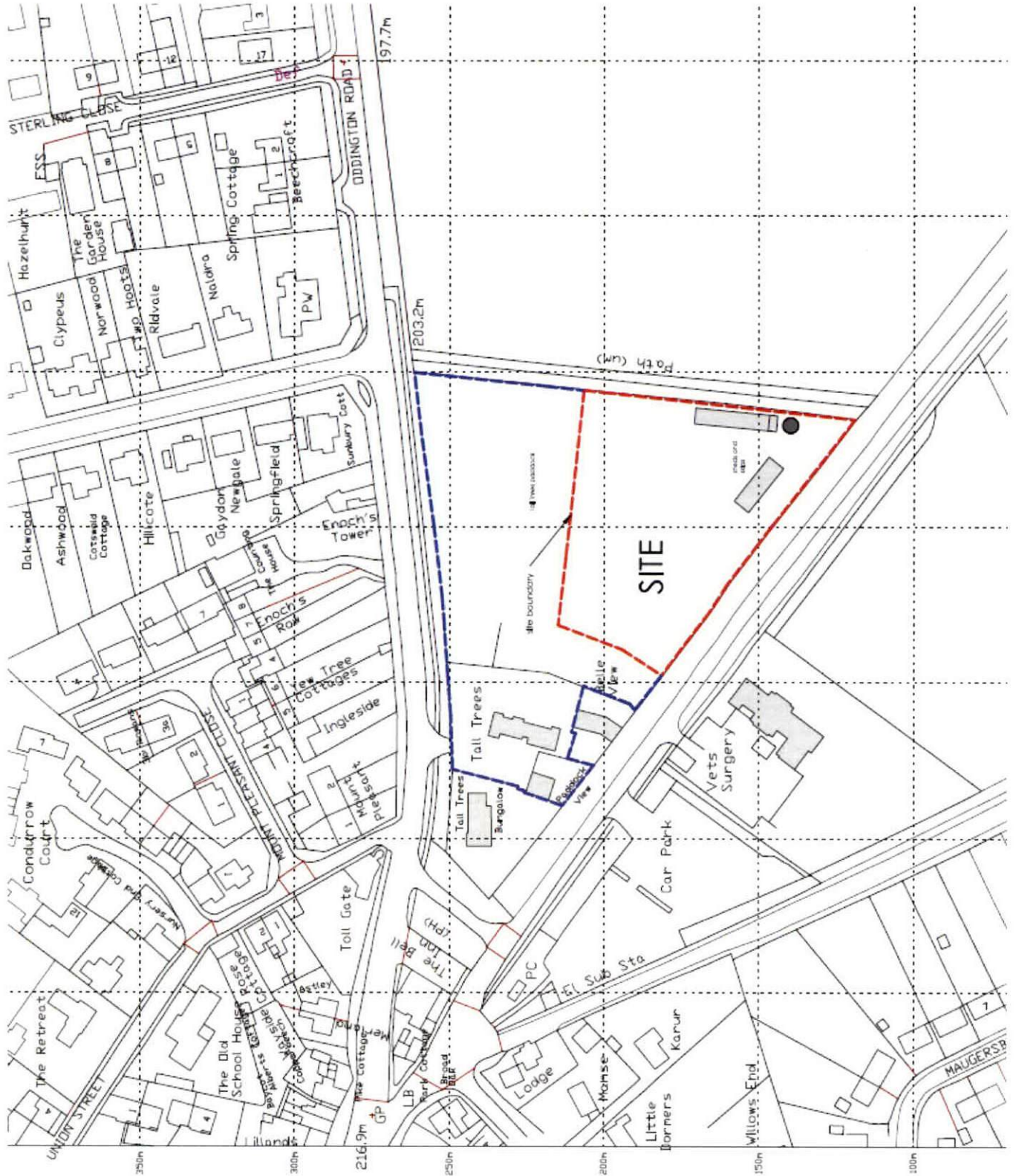
The design and details shall be accompanied by drawings to a minimum scale of 1:5 with full size moulding cross section profiles, elevations and sections. The development shall only be carried out in accordance with the approved details and retained as such at all times.

Reason: To ensure the development is completed in a manner sympathetic to the site and its surroundings in accordance with Cotswold District Local Plan Policies 15 and 42 and the NPPF.

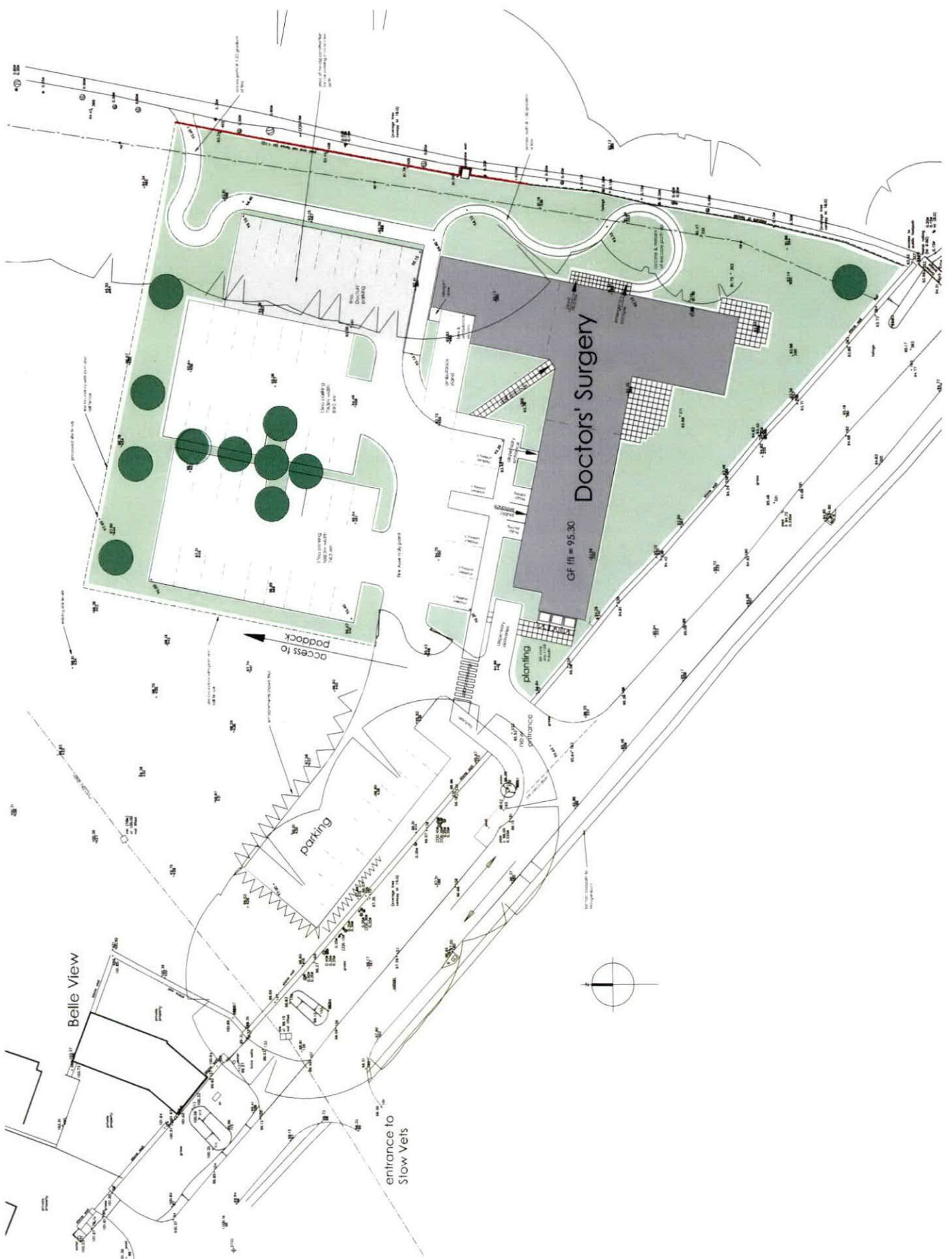


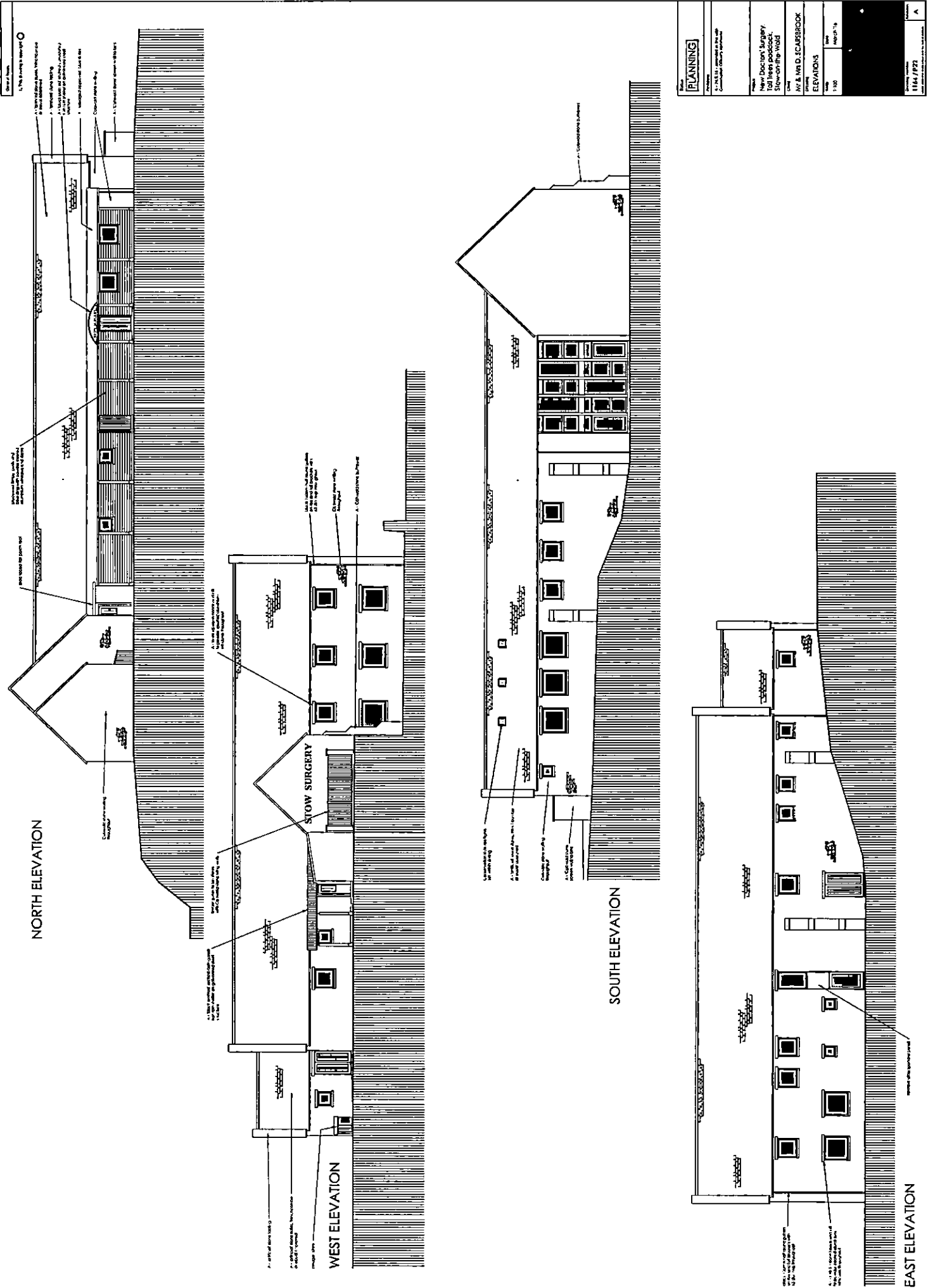
67

STATUS	PLANNING
REVISIONS	
	new Doctor's Surgery, Tall Trees, Stow-on-the-Wold
	for Mrs J. SCARSBROOK
	EASTABROOK ARCHITECTS Kent House Sheep Street Stow-on-the-Wold Gloucestershire GL54 1HQ Phone: 01451 830541 Fax: 01451 830430 enquiries@eastabrookarchitects www.eastabrookarchitects.co.uk
	LOCATION PLAN
	Scale: 1:1250 @ A3 Date: April 15
GENERAL NOTES	1164 / L10

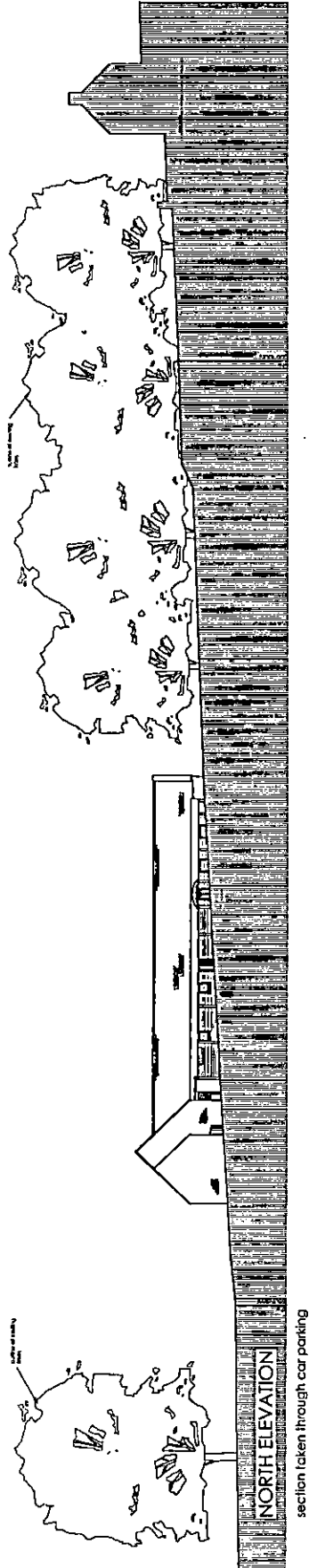
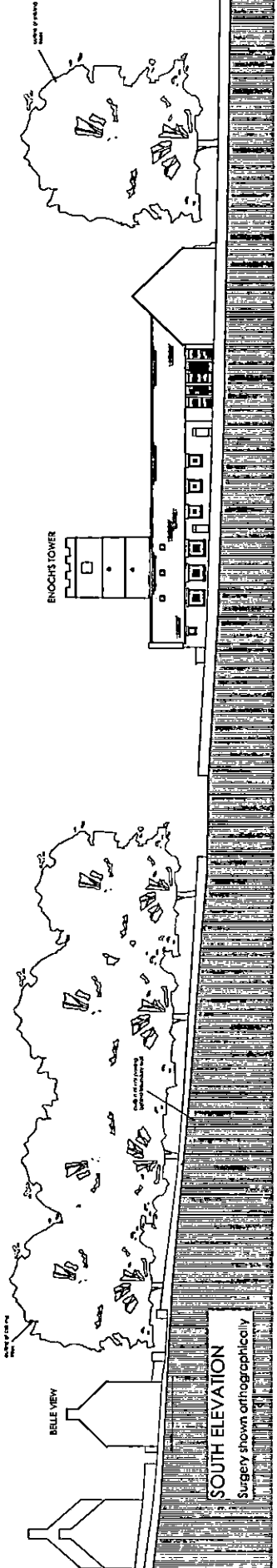
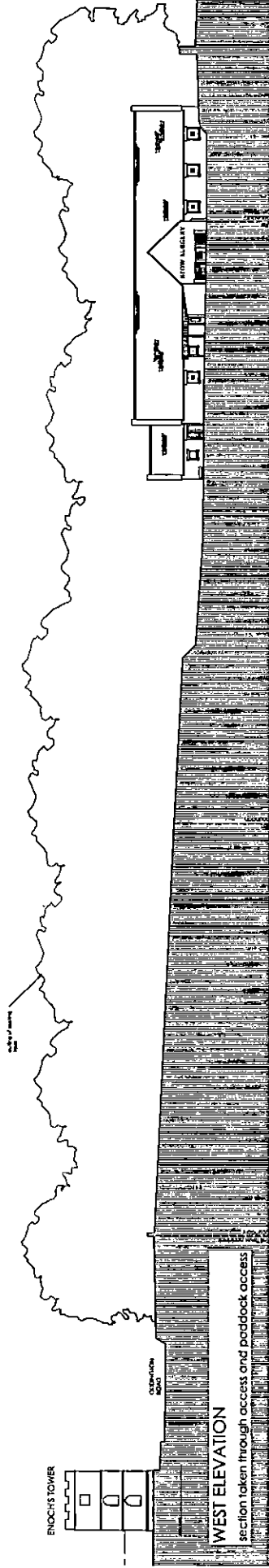
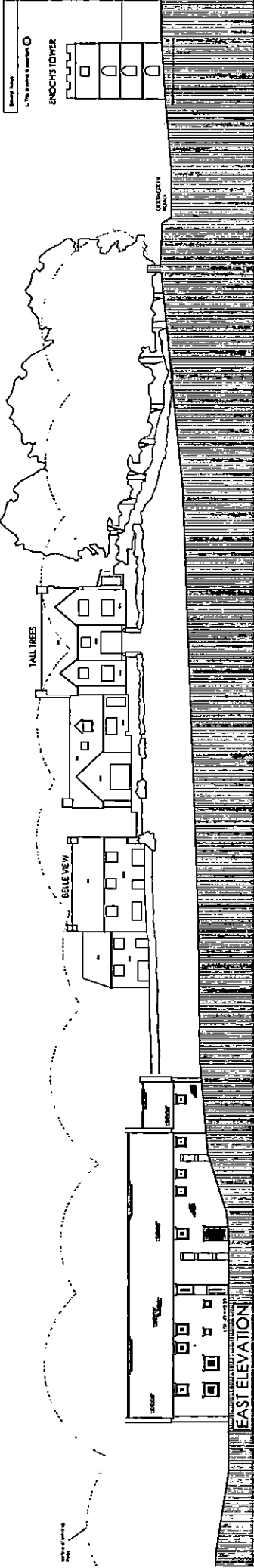


<p>1. The Planning Authority</p>	
<p>PLANNING</p>	
<p>Project: New Doctors Surgery, Stow-on-the-Wald</p>	
<p>Site: HW & WS D, SC-M5/BROOK</p>	
<p>Site PLAN</p>	
<p>Date: 16/01/17</p>	<p>Scale: 1:100</p>
<p>Drawing No: 1164/17/0</p>	
<p>Sheet: A</p>	





PLANNING	
Project:	New Doctor's Surgery
Location:	1164/122
Client:	Mr & Mrs D. SCARBROOK
Scale:	1:100
Date:	11/19/19
Sheet:	1164/122
Author:	
Checker:	
Approver:	



Name New Doctor Surgery, 1144/723, Stoughton Road, Stoughton Road	Date 11/01/2016
Drawn by M & W D SCARBROOK	Scale 1:100
Project CONFIDENTIAL ELEVATIONS	Sheet 1144/723

STOW SURGERY
WELL LANE, STOW ON THE WOLD
CHERTENHAM, GLOS GL54 1EQ

Dr T J G Healy
Dr J Thornett
Dr P Sherringham

VAT Reg No: 881 2692 03

Dr C Lawrence
Dr A Chiles

Ms D Smith
Cotswold District Council
Planning Department
Trinity Road
Cirencester
Gloucestershire
GL7 1PX

21 April 2016

Dear Ms Smith

RE: Planning Application 16/01254/REM (Erection of a Doctor's Surgery with associated parking. Reserved Matters details relating to the appearance of the building pursuant to outline planning permission reference 15/01718/OUT for Mrs Jenny Scarsbrook at Tall Trees Oddington Road Stow-On-The-Wold Cheltenham)

The Partners of Stow Surgery have been working with Mrs Scarsbrook and her architect Andrew Eastabrook of Eastabrook Architects since August 2015 following the rejection of the proposals by JRN Properties Ltd to build a surgery on the Gypsy Field site (14/02576/FUL & 15/01809/FUL) were rejected by the Cotswold District Council Planning Committee in early 2015.

Many meetings have been held since then which have been attended by the Partners, the NHS, the surgery's advisors Bilfinger GVA and the surgery's patient participation group The Friends of Stow Surgery.

I can confirm that the internal layout of the premises has been designed by the Partners in consultation with their advisors, staff and patient group within the confines of the exterior curtilage, previously agreed the Planning Committee. The layout has been carefully scrutinised to ensure that it meets NHS requirements but that it will also fit with the working practice of the clinicians of Stow Surgery and the demographics of the population.

The business plan for the revised proposition has been considered by the Gloucestershire Clinical Commissioning Group and was approved at the Primary Care Commissioning Committee meeting on 31st March 2016, subject to confirmation of a "Value For Money" report which is being reviewed by an independent district valuer. Approval of this point was delegated to the Chairperson of the Primary Care Commissioning Committee and is expected to be signed off by the end of May 2016. I have asked Andrew Hughes Locality Implementation Manager, Gloucestershire Clinical Commissioning Group to confirm this to you as the minutes of the meeting will not be available until they have been ratified which is unlikely to be before 26th May 2016.

The new premises are approximately three times larger than the current building and are desperately required. You will be aware from previous correspondence that the Care Quality Commission were unhappy with the current premises when they last inspected in November 2014.

Since then we have also had a 6-facet inspection by the Oakleaf Group, commissioned by the Gloucestershire Clinical Commissioning Group which has further highlighted the need. Just 9% of the current accommodation was rated as satisfactory from a functional perspective, 76% of space is fully used with 24% over used (this survey was completed prior to the staff rest room being converted into office space in 2016) and 26% of the premises was rated as very poor and requiring major investment with a further 53% rated as less than acceptable.

Jenny Scarsbrook, developer and Andrew Eastabrook, Architect advise that the building will be constructed from structurally insulated panels which are extremely quick to erect and it is anticipated that the shell of the building will be constructed very quickly.

I would be grateful if you could ensure consideration of these points when considering the application.

Kind regards.

Yours sincerely

Dr Judith Thornett
Senior Partner

Deborah Smith
Case Officer
Planning Department
Cotswold District Council
Trinity Road
Cirencester
GL7 1PX

Sanger House
5220 Valiant Court
Gloucester Business Park
Brockworth
Gloucester
GL3 4FE

Sent by email to: planning@cotswold.gov.uk

3rd May 2016

Dear Deborah

Re: Erection of a Doctor's Surgery with associated parking (Reserved Matters details relating to the appearance of the building pursuant to outline planning permission reference 15/01718/OUT) at Tall Trees Oddington Road Stow-On-The-Wold Cheltenham application 6/01254/REM

Gloucestershire Clinical Commissioning Group (CCG) is clinically led and has been responsible for buying most local NHS funded services since April 2013. Overseen by a Governing Body and seven localities, it is a membership organisation of all local GP practices that bring their knowledge of patient care to look at how services are planned and how the patient's journey through care can be improved.

The CCG fully supports the practice's clear need for a premise solution and this remains a committed priority for the organisation. The proposed new surgery will ensure that the practice meets the requirements of the Disability Discrimination Act, no longer operates in a building around half the size required and will ensure that basic operational working is not curtailed.

It is the view of the CCG that this proposed development will help to facilitate the transformational change required in primary care over the next ten to twenty years. It provides the necessary infrastructure future proofing required for sustainable success and ensures there is suitable provision for the people of Stow-on-the-Wold and the expected 30% increase in the registered population served by the Practice.

The proposal supports the CCGs plans and goals for joining up care, particularly across the primary and community sectors and is aligned with our wider commissioning strategies for urgent and planned care for this area.

The CCG also confirms that the financial elements of this scheme are secure with a commitment to fund up to 675m² (net internal area) for an agreed annual rental value remains, which will be subject to the normal value of money assessment and construction review.

Hopefully, this letter provides the information you need. However should you require any further help or assistance, please do not hesitate to contact the CCG at one of the contact details contained within this letter.

NHS
Gloucestershire
Clinical Commissioning Group

From a health perspective, the CCG hopes to working closely with the patients, the practice and other key stakeholders to support the implementation of these plans to ensure local people have the best range and choice of primary care services possible

Yours sincerely

Andrew Hughes
Locality Implementation Manager
NHS Gloucestershire CCG

CC: Helen Goodey, Director of Locality Development & Primary Care, NHS Gloucestershire CCG
Sophie Williams, Practice Manager, Stow Surgery